

Table with project details including project name, location, area, and various technical specifications.

- 1. Sanction is accorded for the Modified Commercial (Office) Building at Khata No. 102, Peace Road, Ward No. 93, Vasanthnagar, East Zone, Bengaluru.
- 2. Sanction is accorded for Commercial Use only. The use of the building shall not be deviated to any use.
- 3. Two Basement Floor areas reserved for parking shall not be converted for any other purpose.
- 4. Development charges towards increasing the capacity of water supply, sanitary and power main has to be paid to BWSSB and BESCOM if any.
- 5. Necessary ducts for running telephone cables, cables for ground level for postal services & space for dumping garbage within the premises shall be provided.
- 6. The applicant shall construct temporary toilets for the use of construction workers and it should be demolished after the construction.
- 7. The applicant shall INSURE all workmen involved in the construction work against any accident / untoward incidents arising during the time of construction.
- 8. The applicant shall not stock any building materials / debris on footpath or on road or on drains. The debris shall be removed and transported to nearby dumping yard.
- 9. The applicant / builder is prohibited from selling the setback area / open spaces and the common facility areas, which shall be accessible to all the tenants and occupants.
- 10. The applicant shall provide a space for locating the distribution transformers & associated equipment as per K.E.R.C. (E & D) code leaving 3.0mtrs. from the building within the premises.
- 11. The applicant shall provide a separate room preferably 4.30 x 3.65m in the basement for installation of telecom equipment and also to make provisions for telecommunication as per By-law No. 25.
- 12. The applicant shall maintain during construction such barricading as considered necessary to prevent dust, noise & other materials endangering the safety of people / structures etc. in & around the site.
- 13. Permission shall be obtained from forest department for cutting trees before the commencement of the work.
- 14. License and approved plans shall be posted in a conspicuous place of the licensed premises. The building license and the copies of sanctioned plans with specifications shall be mounted on a frame and displayed and they shall be made available during inspections.
- 15. If the owner / builder contravene the provisions of Building By-laws and rules in force, the Architect / Engineer / Supervisor will be informed by the Authority in the first instance, warned in the second instance and cancel the registration if the same is repeated for the third time.
- 16. Technical personnel, applicant or owner as the case may be shall strictly adhere to the duties and responsibilities specified in Schedule - IV (By-law No. 3) in and under sub-section IV(a) to (h).
- 17. The building shall be constructed under the supervision of a registered structural engineer.
- 18. On completion of foundation or footing before erection of walls on the foundation and in the case of columnar structure before erection of the columns, "COMMENCEMENT CERTIFICATE" shall be obtained.
- 19. Construction or reconstruction of the building should be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply for permission to occupy the building.
- 20. The building should not be occupied without obtaining "OCCUPANCY CERTIFICATE" from the competent authority.
- 21. Drinking water supplied by BWSSB should not be used for the construction activity of the building.
- 22. The applicant shall ensure that the Rain Water Harvesting Structures are provided & maintained in good repair for storage of water for non-potable purposes or recharge of ground water at all times having a minimum total capacity mentioned in the By-law 32(a).
- 23. The building shall be designed and constructed in accordance with the provisions of National Building Code and in the "Criteria for earthquake resistant design of structures" bearing No. IS 1893:2002 published by the Bureau of Indian Standards making the building resistant to earthquakes.
- 24. The applicant should provide solar water heaters as per table 17 of By-law No. 29 for the building.
- 25. Facilities for physically handicapped persons prescribed in schedule XI (By-law - 31) of Building by-law 2003 shall be ensured.
- 26. The applicant shall provide at least one common toilet in the ground floor for the use of the visitors / tenants / drivers and security men and also entrance shall be approached through a ramp for the Physically Handicapped persons together with the stepped entry.
- 27. The Occupancy Certificate will be considered only after ensuring that the provisions of condition vide S.I. No. 23, 24, 25, 26 are provided in the building.
- 28. The applicant shall ensure that no inconvenience is caused to the neighbors in the vicinity of construction and that the construction activities shall stop before 10:00 PM and shall not resume the work earlier than 7:00 AM to avoid hindrance during late hours and early morning hours.
- 29. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recycling/processing unit 100 kg of required capacity installed at site for its reuse / disposal (applicable for Residential units of 50 and above and 5000 sqm and above built up area for Commercial buildings).
- 30. The structures with basements shall be designed for structural stability and safety to ensure for soil stabilization during the course of excavation for basements with safe design for retaining walls and support structure for the safety of the structure as well as neighboring property, public roads and footpaths, and besides ensuring safety of workman and general public by erecting safe barricades.
- 31. Sufficient two wheeler parking shall be provided as per requirement.
- 32. Traffic Management Plan shall be obtained from Traffic Management Consultant for all high rise structures which shall be got approved from the Competent Authority if necessary.
- 33. Payment of Ground Rent for construction carried out beyond the Two years period of plan sanction shall be made to the corporation as per bye law no. 33 (noted) of Building By-law 2003.
- 34. The Builder / Contractor Professional responsible for supervision of work shall not materially and structurally deviate the construction from the sanctioned plan without previous approval of the authority. They shall explain to the owner about the risk involved in contravention of the provisions of the Act, Rules, Bye-Laws, Zoning Regulations, Sanctioning Orders and Policy Orders of the BBMP.
- 35. The Construction or reconstruction of building shall be commenced within a period of two (2) years from date of issue of license. Before the expiry of two years, the Owner / Developer shall give permission to BBMP for the retention to start work in the form sanctioned in Schedule VI. Further, the Owner / Developer shall give intimation on completion of the foundation or footing of walls / column of the foundation, otherwise the plan sanction deemed cancelled.
- 36. The Applicant / Owner / Developer shall abide by the collection of solid waste and its segregation as per solid waste management by-law 2016.
- 37. The applicant/owner/developer shall abide by sustainable construction and demolition waste management as per solid waste management by-law 2016.
- 38. The Applicant / Owner / Developers shall make necessary provision to charge electrical vehicles.
- 39. The Applicant / Owner / Developer shall plant one tree for one tree for every 240 Sqm of FAR areas as part thereof in case of Apartment / group housing / multi dwelling underdevelopment plan.
- 40. The Applicant should follow the instruction of chairman BWSSB specified in the DO later No. BWSSB/A062019-20, Dated: 25-09-2019 regarding utilization of treated water for all construction activities of built up area more than 2000 Sqm.
- 41. The Applicant / Owner / Developer should follow the technical recommendations given by the Prof. B.R. Srinivasan in their report with Constructing Two Basement Floors.
- 42. In case of any false information, misrepresentation of facts, or pending court cases, the plan sanction is deemed cancelled.

Color Index table with columns for color name and corresponding color swatches.

Block USE/SUBUSE Details table with columns for Block Name, Block Use, Block Subuse, Block Structure, and Block Land Use Category.

Required Parking Table table with columns for Vehicle Type, Subtype, Area (Sq.mt), Units, Prop., Regd. Unit, and Car Prop.

Parking Check Table table with columns for Vehicle Type, No., Area (Sq.mt), No., and Area (Sq.mt).

FAR & Tenement Details table with columns for Block, No. of Same Block, Total Built Up Area (Sq.mt), and Proposed FAR Area (Sq.mt).

Block A (COMMERCIAL BUILDING) table with columns for Floor Name, Total Built Up Area (Sq.mt), and Deductions (Area in Sq.mt).

SCHEDULE OF JOINEY table with columns for Block Name, Name, Length, Height, and NOS.

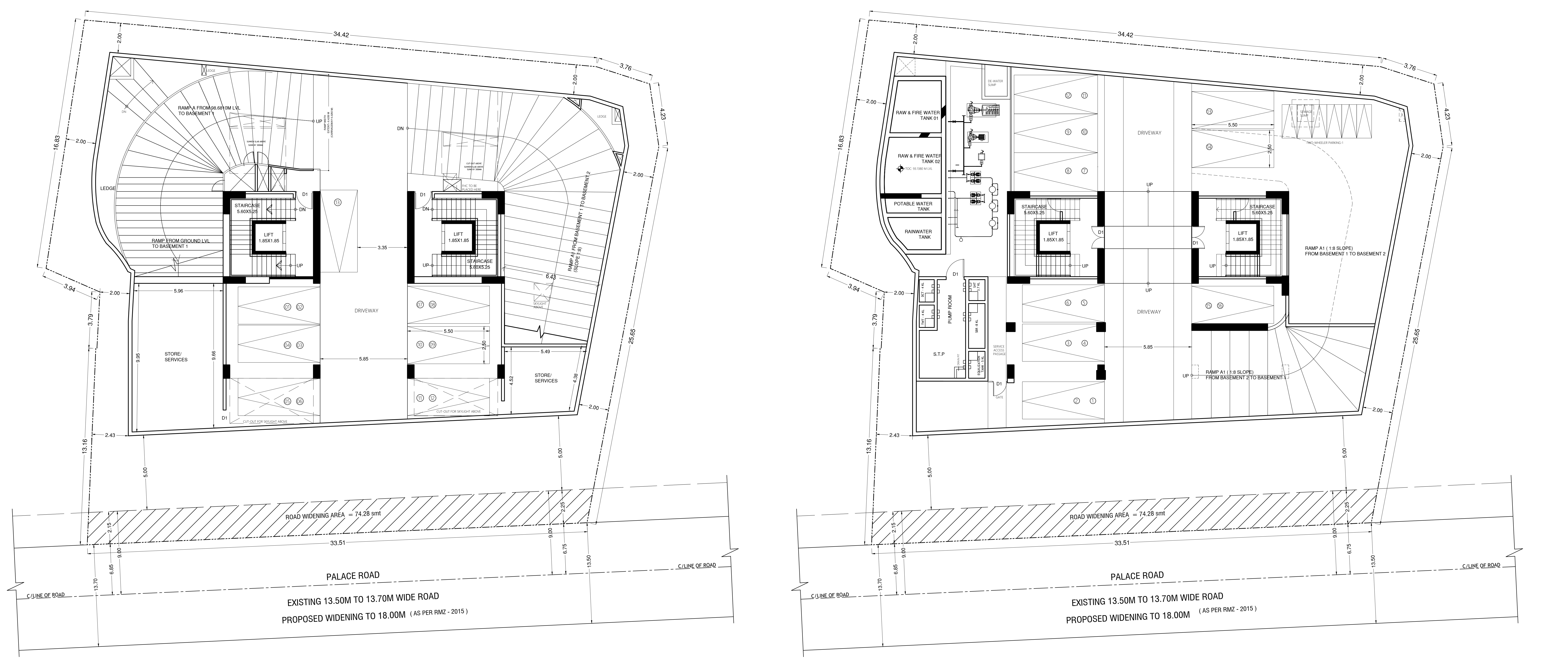
SCHEDULE OF JOINEY table with columns for Block Name, Name, Length, Height, and NOS.

II. NOC Details table with columns for Sl. No., Name of the Statutory Department, Reference No. & Date, and Conditions imposed.

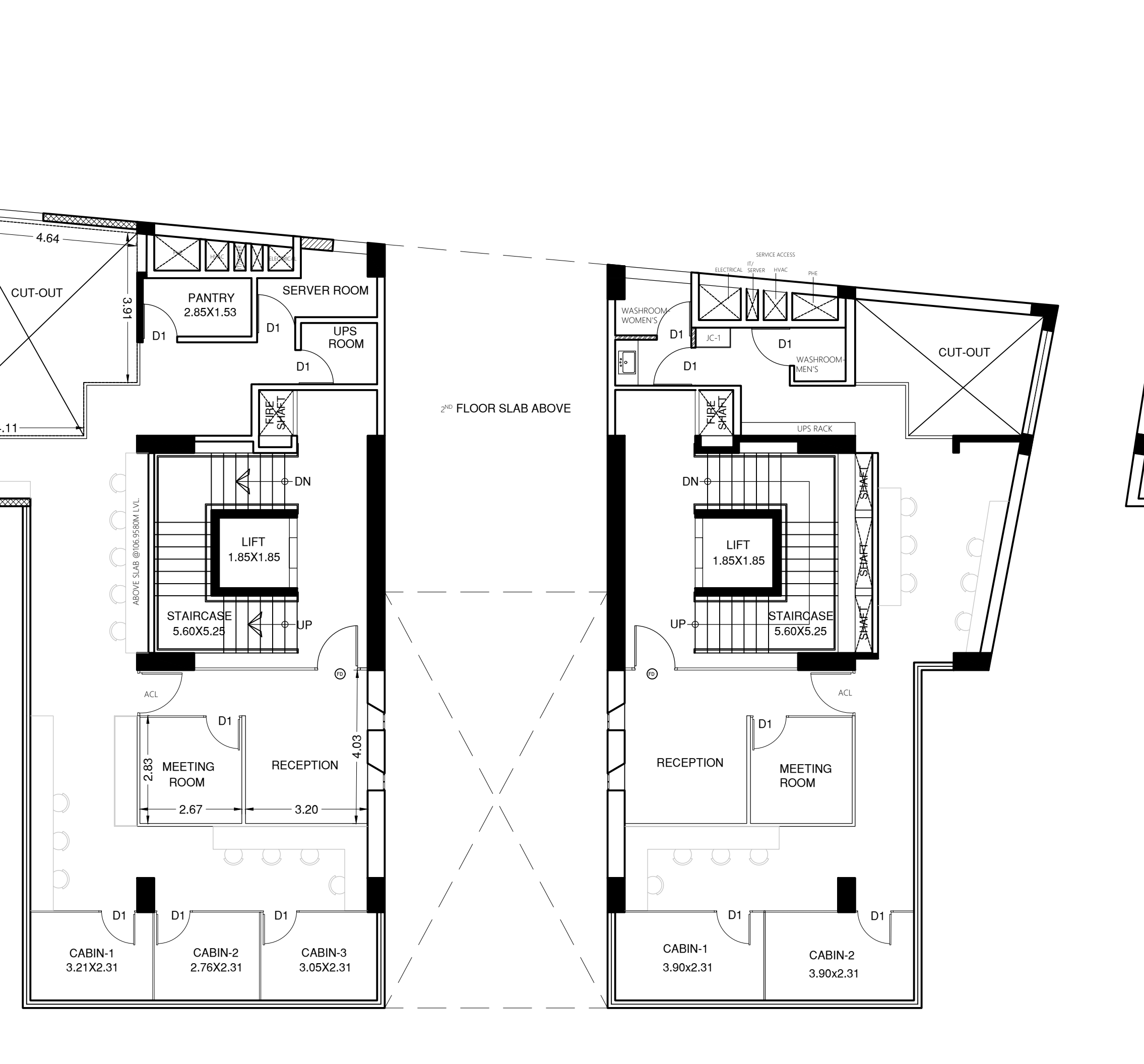
III. FEE DETAILS table with columns for Item, Description, and Amount.

IV. The Applicant has paid the Labour Cess fees of Rs. 13,000/- vide Transaction No. 08110P0006998181, Date: 15-12-2020, Receipt No. HO/17043/2020, Dated: 14-12-2020.

Notes regarding plan approval, validity, and conditions for use.

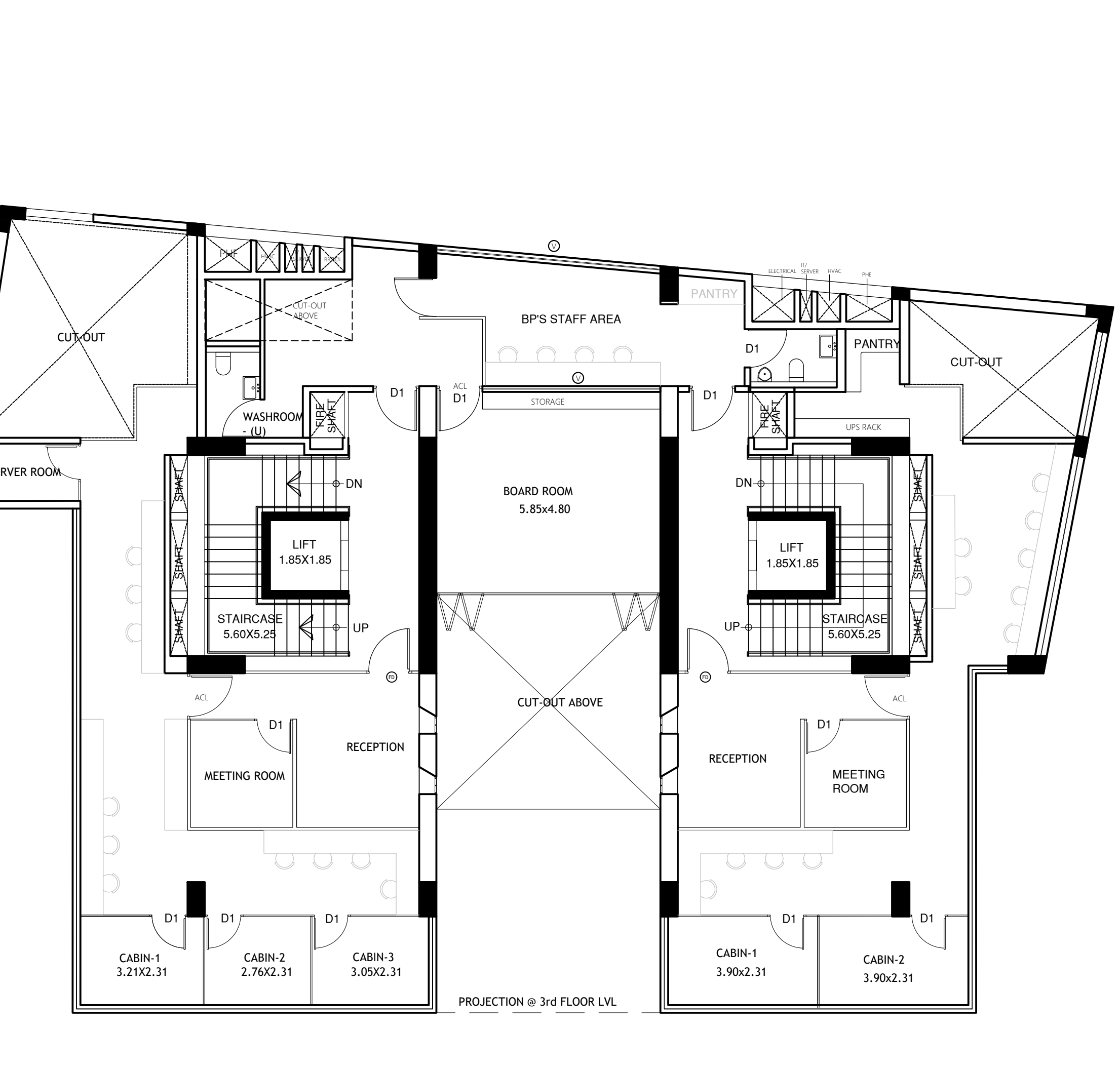


BASEMENT FIRST FLOOR PLAN (FF.LVL 96.2025M)
NO. OF CAR PARKING=19 CARS



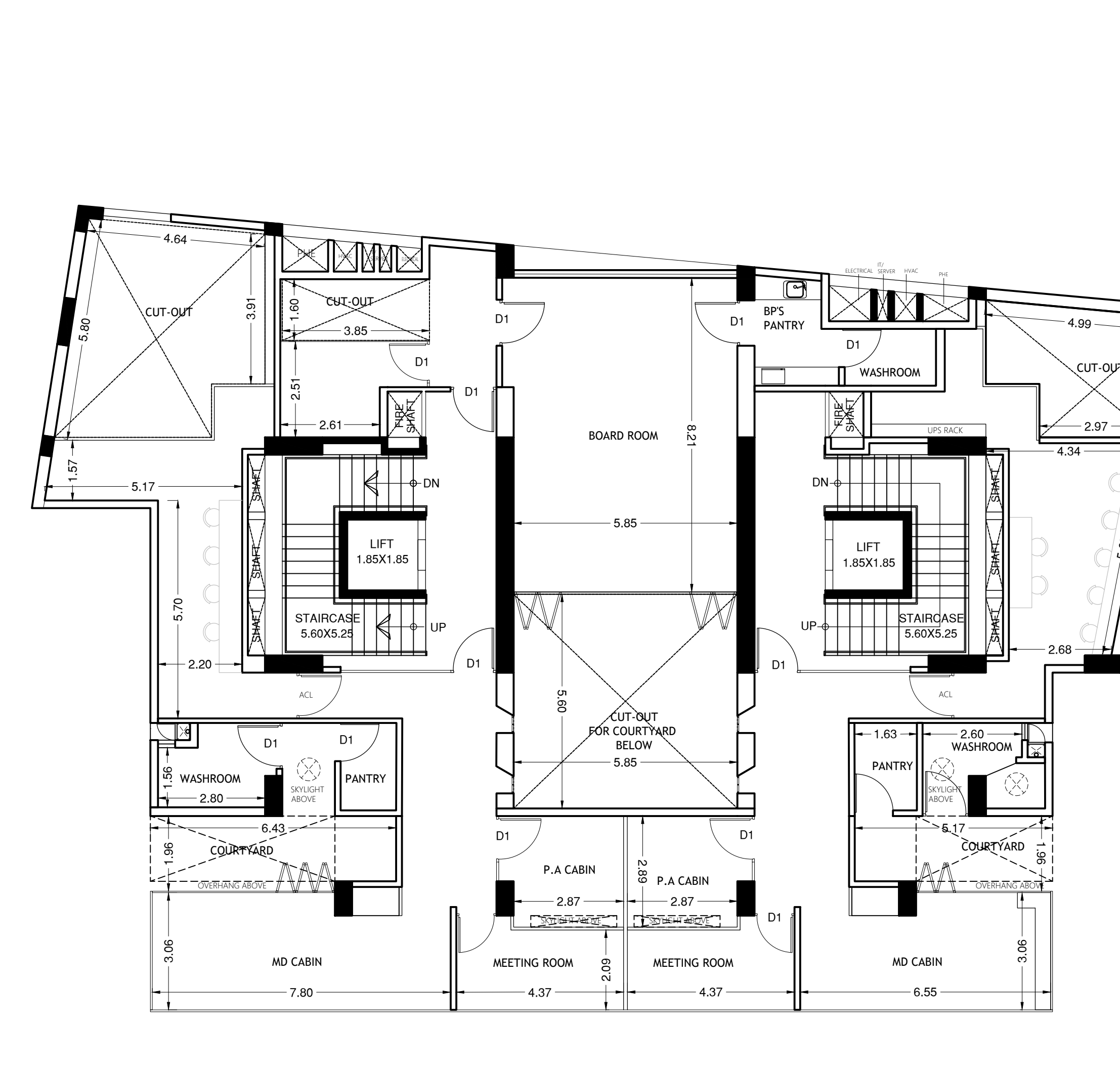
FIRST FLOOR PLAN (FF.LVL 104.1625M)

2nd BASEMENT SECOND FLOOR PLAN (FF.LVL 91.7025M)
NO. OF CAR PARKING=16 CARS



SECOND FLOOR PLAN (FF.LVL 107.6025M)

2nd BASEMENT SECOND FLOOR PLAN (FF.LVL 91.7025M)
NO. OF CAR PARKING=16 CARS



THIRD FLOOR PLAN (FF.LVL 111.0425M)

UnB/B Table for Block A (COMMERCIAL BUILDING) with columns for Floor, Name, UnB/B Type, UnB/B Area, Carpet Area, No. of Rooms, and No. of Tenement.

Table with columns for Floor Name, Total Built Up Area (Sq.mt), and Deductions (Area in Sq.mt).

SCHEDULE OF JOINEY table with columns for Block Name, Name, Length, Height, and NOS.

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OWNER / CPA HOLDER'S SIGNATURE and ADDRESS WITH ID NUMBER & CONTACT NUMBER.

ARCHITECT/ENGINEER / SUPERVISOR'S SIGNATURE and ADDRESS.

PROJECT TITLE: MODIFIED PLAN FOR COMMERCIAL (OFFICE) BUILDING AT SITE NO 102 PALACE ROAD, WASHNATHNAGAR, BANGALORE, WARD NO 93, PHD NO 78.116.102.