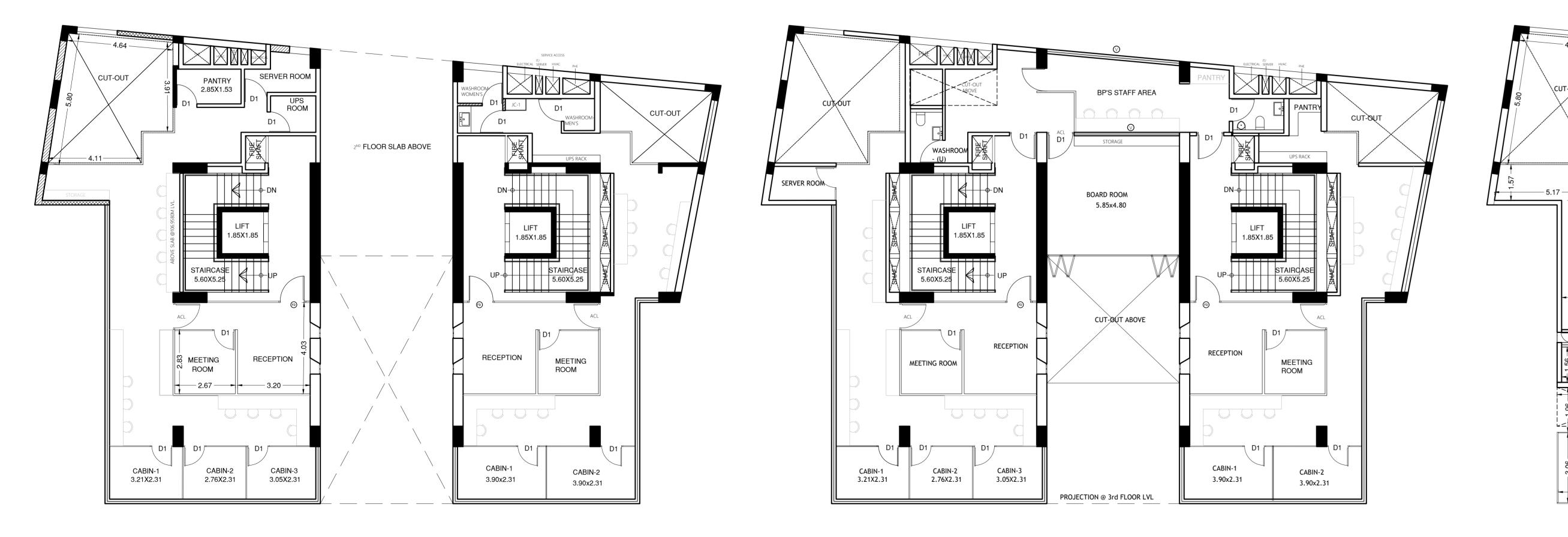
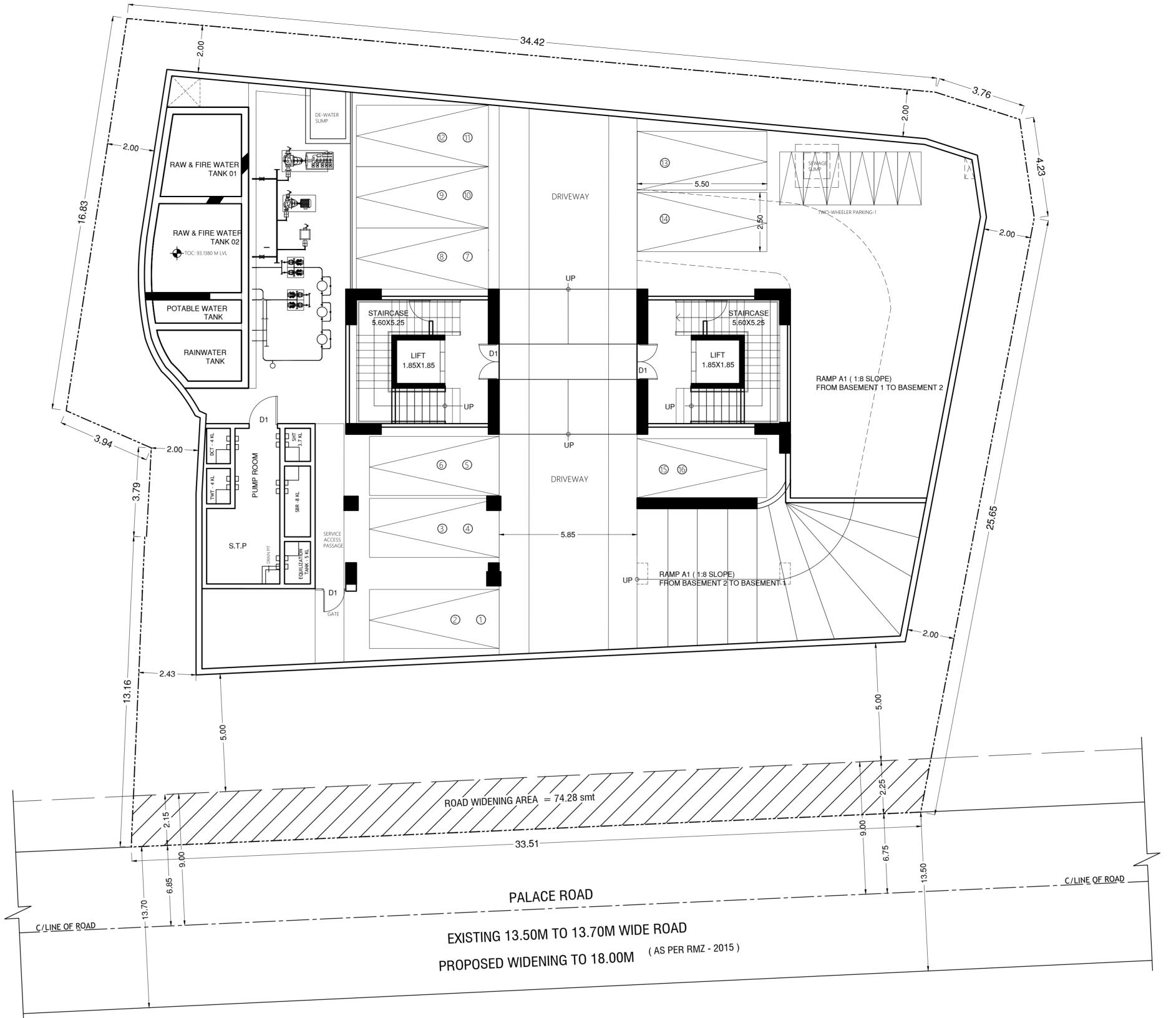


BASEMENT FIRST FLOOR PLAN (FF.LVL 96.2025M) NO. OF CAR PARKING=13 CARS



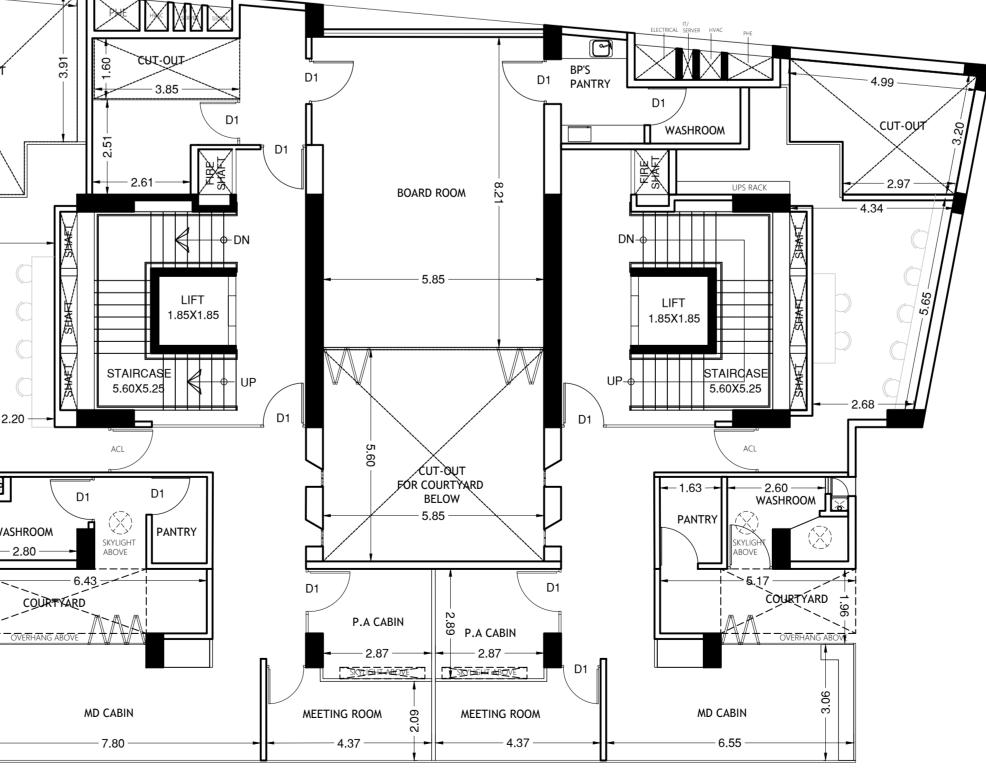
FIRST FLOOR PLAN (FF.LVL 104.1625M)



SECOND FLOOR PLAN (FF.LVL 107.6025M)

2nd BASEMENT SECOND FLOOR PLAN (FF.LVL 91.7025M) NO. OF CAR PARKING=16 CARS

		I			
	BBMP/ADDL.DIR/JD NORTH/LP/0069/2019-20		AREA STATEMENT (BBMP) PROJECT DETAIL:	VERSION NO.: 1.0.16 VERSION DATE: 10/11/2020	
	Adl.Com (East)/LP/0532/2018-19 This Modified Plan Sanctions issued subject to the following conditions		 Authority: BBMP Inward_No: BBMP/Addl.Dir/JD NORTH/0069/19-20 	Plot Use: Commercial Plot SubUse: Commercial Bldg	
	 Sanction is accorded for the Modified Commercial (Office) Building at Khata No. 12/2, Palace Road, Ward No. 93, Vasanthnagar, East Zone, Bengaluru. 	SCALE - 1:100	Application Type: General Proposal Type: Building Permission	Land Use Zone: Commercial (Business) Plot/Sub Plot No.: 12/2	
	 a) Consisting of 2BF+GF+ 3UF (Three upper floors only). 2. Sanction is accorded for Commercial use only. The use of the building shall not be deviated to any use. 		Nature of Sanction: MODIFY Location: RING-I Building Line Specified as per Z.R: NA	Khata No. (As per Khata Extract): 12/2 Locality / Street of the property: Palace roa	ad, Bangalore
	 Two Basement Floor area reserved for parking shall not be converted for any other purpose. 		Zone: East Ward: Ward-093		
	 Development charges towards increasing the capacity of water supply, sanitary and power main has to be paid to BWSSB and BESCOM if any. Necessary ducts for running telephone cables, cubicles at ground level for postal services & 		Planning District: 104-Vasantnagar AREA DETAILS: AREA OF PLOT (Minimum)		SQ.MT. 1201 52
	space for dumping garbage within the premises shall be provided.6. The applicant shall construct temporary toilets for the use of construction workers and it		Deduction for NetPlot Area Road Widening Area	(A)	1201.52 74.28
8	should be demolished after the construction. 7. The applicant shall INSURE all workmen involved in the construction work against any accident (untoward incidents arising during the time of construction		Total NET AREA OF PLOT	(A-Deductions)	74.28
	 accident / untoward incidents arising during the time of construction. 8. The applicant shall not stock any building materials / debris on footpath or on roads or on drains. The debris shall be removed and transported to nearby dumping yard. 		COVERAGE CHECK Permissible Coverage area (50		563.62
	 The applicant / builder is prohibited from selling the setback area / open spaces and the common facility areas, which shall be accessible to all the tenants and occupants. 		Proposed Coverage Area (46.3 Achieved Net coverage area (4 Balance coverage area left (3.6	46.38 %)	522.79 522.79 40.83
	 The applicant shall provide a space for locating the distribution transformers & associated equipment as per K.E.R.C (Es & D) code leaving 3.00mts. from the building within the premises. 		FAR CHECK Permissible F.A.R. as per zonin	,	2703.42
	 The applicant shall provide a separate room preferably 4.30 x 3.65m in the basement for installation of telecom equipment and also to make provisions for telecom services as per 		Additional F.A.R within Ring I a Allowable TDR Area (60% of P	erm.FAR)	0.00 0.00
	Bye-law No. 25. 12. The applicant shall maintain during construction such barricading as considered necessary		Premium FAR for Plot within Im Total Perm. FAR area (2.25) Commercial FAR (100.00%)	pact Zone (-)	0.00 2703.42 1449.39
	to prevent dust, debris & other materials endangering the safety of people / structures etc. in & around the site. 13. Permission shall be obtained from forest department for cutting trees before the		Proposed FAR Area Achieved Net FAR Area (1.21)	1449.39
	commencement of the work. 14. License and approved plans shall be posted in a conspicuous place of the licensed		Balance FAR Area (1.04) BUILT UP AREA CHECK		1254.03
	premises. The building license and the copies of sanctioned plans with specifications shall be mounted on a frame and displayed and they shall be made available during inspections. 15. If the owner / builder contravene the provisions of Building Bye-laws and rules in force, the		Proposed BuiltUp Area Substructure Area Add in BUA Achieved BuiltUp Area	(Layout Lvl)	3650.98 15.00 3665.98
	Architect / Engineer / Supervisor will be informed by the Authority in the first instance, warned in the second instance and cancel the registration if the same is repeated for the		Color Notes		000.50
	third time. 16. Technical personnel, applicant or owner as the case may be shall strictly adhere to the duties and responsibilities specified in Schedule – IV (Bye-law No. 3.6) under sub section		COLOR INDEX		
	IV-8 (e) to (k). 17. The building shall be constructed under the supervision of a registered structural engineer.		PLOT BOUNDARY ABUTTING ROAD		
ENT 1 TO BASEMENT 2	18. On completion of foundation or footings before erection of walls on the foundation and in the case of columnar structure before erection of the columns "COMMENCEMENT		PROPOSED WORK (COVERAGE AREA) EXISTING (To be retained) EXISTING (To be demolished)		
	CERTIFICATE" shall be obtained. 19. Construction or reconstruction of the building should be completed before the expiry of five years from the date of issue of license & within one month after its completion shall apply		Block USE/SUBUSE Details		Block Land Use
	for permission to occupy the building. 20. The building should not be occupied without obtaining "OCCUPANCY CERTIFICATE" from		A (COMMERCIAL Commercial D	Plaak Subliaa I - Plaak Structure	Category C3
	the competent authority. 21. Drinking water supplied by BWSSB should not be used for the construction activity of the building.		BUILDING)		
	22. The applicant shall ensure that the Rain Water Harvesting Structures are provided & maintained in good repair for storage of water for non potable purposes or recharge of		Required Parking(Table 7a) Block Type SubUse	Area Units	Car
55.65	ground water at all times having a minimum total capacity mentioned in the Bye-law 32(a). 23. The building shall be designed and constructed adopting the norms prescribed in National Building Code and in the "Criteria for earthquake resistant design of structures" bearing No.		A (COMMERCIAL Commercial Professional	(Sq.mt.) Reqd. Prop. Reqd./L I > 0 50 1449.39 1	Unit Reqd. Prop. 29 -
1 1	IS 1893-2002 published by the Bureau of Indian Standards making the building resistant to earthquake. 24. The applicant should provide solar water heaters as per table 17 of Bye-law No. 29 for the		BUILDING) Total :		29 29
	building. 25. Facilities for physically handicapped persons prescribed in schedule XI (Bye laws – 31) of		Parking Check (Table 7b)		
	Building bye-laws 2003 shall be ensured. 26. The applicant shall provide at least one common toilet in the ground floor for the use of the visitors / servants / drivers and security men and also entrance shall be approached through		Vehicle Type Reqd. No.	Area (Sq.mt.) No. Are	rea (Sq.mt.)
	a ramp for the Physically Handicapped persons together with the stepped entry. 27. The Occupancy Certificate will be considered only after ensuring that the provisions of		Car 29 Two Stack.Car - Total Car 29	- 14	206.25 192.50 398.75
	conditions vide SI. No. 23, 24, 25 & 26 are provided in the building. 28. The applicant shall ensure that no inconvenience is caused to the neighbors in the vicinity		TwoWheeler _ Other Parking _	41.25 0	0.00 1030.76
	of construction and that the construction activities shall stop before 10.00 PM and shall not resume the work earlier than 7.00 AM to avoid hindrance during late hours and early morning hours.		Total	440.00	1429.51
	29. Garbage originating from Apartments / Commercial buildings shall be segregated into organic and inorganic waste and should be processed in the Recyclingprocessing unit		FAR &Tenement Details		Proposed
	100 k.g of required capacity installed at site for its re-use / disposal (Applicable for Residential units of 50 and above and 5000 sqm and above built up area for Commercial building).		No. of Same Bldg (Sq.mt.)	Deductions (Area in Sq.mt.)	FAR Area Tota (Sq.mt.) Area amp Parking Commercial (Sq.r
	30. The structures with basements shall be designed for structural stability and safety to ensure for soil stabilization during the course of excavation for basements with safe design for		A (COMMERCIAL 1 3650.98	StairCase Lift Lift Machine Void Ra	amp Parking Commercial
	retaining walls and super structure for the safety of the structure as well as neighboring property, public roads and footpaths, and besides ensuring safety of workman and general		BUILDING) Grand 1 2650.08	102.04 44.52 3.42 555.47 255 102.04 44.52 3.42 555.47 255	
57.52	public by erecting safe barricades. 31. Sufficient two wheeler parking shall be provided as per requirement. 32. Traffic Management Plan shall be obtained from Traffic Management Consultant for all high		Total: 1 3030.30 Block :A (COMMERCIAL BUILDING)		
	rise structures which shall be got approved from the Competent Authority if necessary. 33. Payment of Ground Rent for construction carried out beyond the Two years period of plan		Floor Name Total Built Up Area	Deductions (Area in Sq.mt.)	Proposed FAR Area (Samt) Area
15	sanction shall be made to the corporation as per bye law no. 3.8 note(i) of Building Bye-law- 2003.		(Sq.mt.) StairCase Lift		king Commercial (Sq.mt.)
9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	34. The Builder / Contractor Professional responsible for supervision of work shall not materially and structurally deviate the construction from the sanctioned plan, without previous approval of the authority. They shall explain to the owner s about the risk involved in		Floor 73.32 60.48 3. Third Floor 513.52 0.00 6.		0.00 0.00 0.00 0.00 376.58 376.58
<u><u><u></u><u></u><u></u><u></u><u></u><u><u></u><u></u><u></u><u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u><u></u></u></u></u></u>	contravention of the provisions of the Act, Rules, Bye-Laws, Zoning Regulations, Standing Orders and Policy Orders of the BBMP.		Floor		0.00 359.67 359.67 0.00 310.34 310.34
	35. The Construction or reconstruction of building shall be commenced within a period of two (2) years from date of issue of license. Before the expiry of two years. The Owner / Developer shall give intimation to BBMP of the intention to start work in the form prescribed		Ground 522.80 0.00 6. Floor Basement	85 0.00 113.15 0.00 0	0.00 402.80 402.80
	in Schedule VI. Further, the Owner / Developer shall give intimation on completion of the foundation or footing of walls / column of the foundation, Otherwise the plan sanction			.85 0.00 0.00 128.29 619	9.78 0.00 0.00
	deemed cancelled. 36. The Applicant / Owner / Developer shall abide by the collection of solid waste and its		Second 772.70 17.78 6. Floor 6.	.85 0.00 0.00 130.84 617	
	segregation as per solid waste management bye-law 2016. 37. The applicant/owner/developer shall abide by sustainable construction and demolition waste management as per solid waste management bye-law 2016.		Total: 3650.98 102.04 44. Total	.52 3.42 555.47 259.13 1237	7.01 1449.39 1449.39
	 The Applicant / Owners / Developers shall make necessary provision to charge electrical vehicles. 		Same 1 Blocks		
	39. The Applicant / Owner / Developer shall plant one tree for one tree for every 240 Sq.m of FAR areas as part thereof in case of Apartment / group housing / multi dwelling unit/development plan.		Total: 3650.98 102.04 44.	.52 3.42 555.47 259.13 1237	7.01 1449.39 1449.39
UnitBUA Table for Block :A (COMMERCIAL BUILDING) FLOOR Name UnitBUA Type UnitBUA Area Carpet Area No. of Rooms No. of Tenement	 The Applicant should follow the instruction of chairman BWSSB specified in the DO letter No. BWSSB/A/36/2019-20, Dated. 25-09-2019 regarding utilization of treated water for all 		SCHEDULE OF JOINERY: BLOCK NAME NAME	LENGTH HEIGHT	NOS
GROUND GF-01 OFFICE 133.30 133.30 2 2 FLOOR PLAN GE-02 OFFICE 137.04 137.04 2 2	construction activities of built up area more than 2000 Sq.mtrs., 41. The Applicant / Owner / Developer should follow the technical recommendations given by		A (COMMERCIAL BUILDING) D	1.20 2.10	19
FIRST FLOOR FF-01 OFFICE 304.17 304.17 4 1 SECOND OFFICE 252.50 252.50 5 1	 the Prof. B.R.Srinivasamurthy in their report while Constructing Two Basement Floors. 42. In case of any false information, misrepresentation of facts, or pending court cases, the plan sanction is deemed cancelled. 		SCHEDULE OF JOINERY:		
FLOOR PLAN SF-01 OFFICE 353.50 353.50 5 1 THIRD FLOOR CEAR 150 OEFICE 364.51 364.51 5 1	Special Condition as per Labour Department of Government Karnataka vide ADDENDUM (Hosadaagi Hoodike) Letter No.LD/95/LET/2013, DATED: 01-04-2013.		BLOCK NAME NAME A (COMMERCIAL BUILDING) W	LENGTH HEIGHT 1.50 2.10	NOS03
PLAN CFAR-150 OFFICE 304.51 304.51 5 1 Total: - - 1292.52 1292.52 18 5	 Registration of Applicant / Builder / Owner / Contractor and the construction workers working in the construction site with the "Karnataka Building and Other Construction 		A (COMMERCIAL BUILDING) W A (COMMERCIAL	1.76 2.10	01
	workers Welfare Board" should be strictly adhered to. 2. The Applicant / Builder / Owner / Contractor should submit the Registration of establishment and list of construction workers engaged at the time of issue of		BUILDING) W A (COMMERCIAL	1.97 2.10 2.00 2.10	01
	Commencement Certificate. A Copy of the same shall also be submitted to the concerned local Engineer in order to inspect the establishment and ensure the registration of		BUILDING) W A (COMMERCIAL BUILDING) W	2.00 2.10 20.93 2.10	01
	establishment and workers working at construction site or work place. 3. The Applicant / Builder / Owner / Contractor shall also inform the changes if any of the list of workers engaged by him.		A (COMMERCIAL BUILDING) W	3.83 2.10	01
	4. At any point of time No Applicant / Builder / Owner / Contractor shall engage a construction worker in his site or work place who is not registered with the "Karnataka Building and Other Construction workers Welfare Board".		A (COMMERCIAL BUILDING) A (COMMERCIAL	5.09 2.10	01
	 <u>Note:</u> Accommodation shall be provided for setting up of schools for imparting education to the children of construction workers in the labour camps / construction sites. 		BUILDING) W A (COMMERCIAL	5.15 2.10 5.17 2.10	01
	 List of children of workers shall be furnished by the builder / contractor to the Labour Department which is mandatory. 		A (COMMERCIAL BUILDING)	5.40 2.10	01
	 Employment of child labour in the construction activities strictly prohibited. Obtaining NOC from the Labour Department before commencing the construction work is a must. 		A (COMMERCIAL BUILDING) W	5.59 2.10	01
	must. 5. BBMP will not be responsible for any dispute that may arise in respect of property in question.		BUILDING) W A (COMMERCIAL	6.35 2.10 6.44 2.10	01
	 In case if the documents submitted in respect of property in question is found to be false or fabricated, the plan sanctioned stands cancelled automatically and legal action will be 		BUILDING) W A (COMMERCIAL BUILDING) W	6.44 2.10 7.48 2.10	01 01
	initiated. II. NOC Details		A (COMMERCIAL BUILDING) W	7.66 2.10	01
5.65	SI. No. Name of the Statutory Reference No. & Date Conditions imposed Department		BUILDING) W A (COMMERCIAL	7.77 2.10 8.95 2.10	02
	1 KSPCB CTE-108938/1668 dated: 16-02-2019. All the conditions imposed the letter issued by	he	BUILDING) W	2.10	
	BWSSB BWSSB/EIC/CE(M)/ACE(M)- II/DCE(M)-I/TA(M)-I/1175/2019-20, adhered to.				·s
	Dated: 17-06-2019.			OWNER / GPA HOLDER' SIGNATURE OWNER'S ADDRESS WITH	
				NUMBER & CONTACT N Mineral Enterprises Ltd rep by Direct	IUMBER :
	III. FEE DETAILS			Bhavan, 3rd floor west wing 49 race	,
	The Applicant has paid the fees vide Receipt No. NEFT/RTGS Transaction No. 109037155430 dated: 14-12-2020, Receipt No. BBMP/19448/CH/20-21 for the following:-				
	1. Scrutiny Fee : 1,64,616-00 2. License Fee : 93,211-00			ARCHITECT/ENGINEER	
	 Ground Rent including GST 18% : 86,420-00 Betterment fee For Building : 10,379-00 			/SUPERVISOR 'S SIGNA MEHBOOB BASHA 03,6TH CROS	S, 5TH MAIN,
	For Building : 10,379-00 For Site : 00-00 5. Security Deposit : 10,379-00		VENKATARANGAPURAM, BANGALORE E-3150/2007-08		
	6. 1% Service Charge on Labour Cess 2,18,613-00 7. Water Supply Scheme (BWSSB) 7,32,213-00 8. Ring Road (BDA) 7,32,213-00			The second secon	
	9. Improving Slums (KSCB) : 3,66,107-00 10. Transport System (BDA) : 18,30,534-00			PROJECT TITLE : MODIFIED PLAN FOR COMMERC SITE NO.12/2,PALACE ROAD, VA	· · · ·
	Total 42,44,685-00 Already paid vide Receipt No. 1,70,072-00 BBMP/32188/CH/2019-20, Dated. 1,70,072-00			WARD NO.93. PID NO.78-118-12/2	
	BBMP/32188/CH/2019-20, Dated. 20-12-2019 To be paid 40,74,613-00				
	Say Rs. : 40,75,000-00				COND FLOOR, FIRST FLOOR, SEC OR, THIRD FLOOR PLANS
	IV. The Applicant has paid the Labour Cess fees of Rs. 13,000/- vide Transaction No. 08110P0006998187, Date. 15-12-2020,				
	Transaction No. 08110P0006998187, Date. 15-12-2020, Receipt No. HO/17043/2020, Dated. 14-12-2020.		Note · Farlier Dian Constian Visit	SHEET NO : 1 OF 2	Ι
			dated: 28/03/2019 is deemed ca The modified plans are Approved	ancelled. d in accordance with the acceptance for	
			approval by the commissioner or vide lp number : _{BBMP/Addl.Dir/JI} to terms and conditions laid dow	D_NORTH/0069/19-20subject	
			to terms and conditions laid down along with this modified building plan approval. This approval of Building plan/ Modified plan is valid for two years from the		
			date of issue of plan and building	Addified plan is valid for two years from the المالية المعالية المعالية المعالية المعالية المعالية المعالية المعالية يا مالية المعالية الم BRUHAT BANGALORE MAHANAGARA	QR CODE
				c-2020 16: 48:19 NORTH	



THIRD FLOOR PLAN (FF.LVL 111.0425M)

_____ 5.17 _____

WASHROOM